

## ORDINANCE NUMBER 20-38

### AN ORDINANCE OF THE CITY OF WESTFIELD AND WASHINGTON TOWNSHIP, HAMILTON COUNTY, INDIANA CONCERNING THE AMENDMENT TO THE UNIFIED DEVELOPMENT ORDINANCE

#### “Carramore”

This is a Planned Unit Development District Ordinance (to be known as the “**Carramore PUD District**”) to amend the Unified Development Ordinance of the City of Westfield and Washington Township, Hamilton County, Indiana (the “Unified Development Ordinance”), enacted by the City of Westfield pursuant to its authority under the laws of the State of Indiana, Ind. Code § 36-7-4 et seq., as amended,

**WHEREAS**, the City of Westfield, Indiana (the “City”) and the Township of Washington, both of Hamilton County, Indiana are subject to the Unified Development Ordinance;

**WHEREAS**, the Westfield-Washington Advisory Plan Commission (the “Commission”) considered a petition (**Petition No. 2010-PUD-13**), requesting an amendment to the Zoning Map with regard to the subject real estate more particularly described in **Exhibit A** attached hereto (the “Real Estate”);

**WHEREAS**, the Commission forwarded **Petition No. 2010-PUD-13** to the Common Council of the City of Westfield, Hamilton County, Indiana (the “Common Council”) with a \_\_\_\_\_ recommendation (#-#) in accordance with Indiana Code § 36-7-4-608, required by Indiana Code § 36-7-4-1505;

**WHEREAS**, the Secretary of the Commission certified the action of the Commission to the Common Council on \_\_\_\_\_, 2020;

**WHEREAS**, the Common Council is subject to the provisions of the Indiana Code § 36-7-4-1507 and Indiana Code § 36-7-4-1512 concerning any action on this request; and,

**NOW, THEREFORE, BE IT ORDAINED** by the Common Council of the City of Westfield, Hamilton County, Indiana, meeting in regular session, that the Unified Development Ordinance and Zoning Map are hereby amended as follows:

## **Section 1. Applicability of Ordinance.**

- 1.1 The Unified Development Ordinance (the “UDO”) and Zoning Map are hereby changed to designate the Real Estate as a Planned Unit Development District to be known as the **“Carramore PUD District”** (the “District”).
- 1.2 Development of the Real Estate shall be governed by (i) the provisions of this Ordinance and its exhibits, and (ii) the provisions of the Unified Development Ordinance, as amended and applicable to the Underlying Zoning District or a Planned Unit Development District, except as modified, revised, supplemented or expressly made inapplicable by this Ordinance.
- 1.3 Chapter (“Chapter”) and Article (“Article”) cross-references of this Ordinance shall hereafter refer to the section as specified and referenced in the Unified Development Ordinance.
- 1.4 All provisions and representations of the Unified Development Ordinance that conflict with the provisions of this Ordinance are hereby made inapplicable to the Real Estate and shall be superseded by the terms of this Ordinance.

## **Section 2. Definitions.** Capitalized terms not otherwise defined in this Ordinance shall have the meanings ascribed to them in the Unified Development Ordinance.

- 2.1 Different Color Package. If an Existing Home’s Dominant Exterior Material is a Masonry Material, then the Subject Home’s Masonry Material shall be a different color to be a Different Color Package. If the Existing Home’s Dominant Exterior Material is not a Masonry Material, then the Subject Home’s Dominant Exterior Material color shall be at least two (2) shades different to be a Different Color Package. Color shades shall be identified according to the “Sherwin Williams Color Prime System” or its successor system consistent with the “Munsell Color Theory.”
- 2.2 Dominant Exterior Material. The Exterior Material that occupies the most surface area (compared to other Exterior Materials) of a Front Building Facade, exclusive of doors, windows and garage doors. The Dominant Exterior Material shall be identified on the elevations filed as part of an application for an improvement location permit.
- 2.3 Exterior Material. The separate architectural siding materials and patterns on a Front Building Facade such as Masonry Materials, horizontal siding, shake siding, vertical siding, and board & batten siding (each of the foregoing are examples of separate Exterior Materials).
- 2.4 Existing Home. A Single-family Dwelling that has been issued an improvement location permit at the time an application for an improvement

location permit is filed for a Subject Home.

- 2.5 Perimeter Lots. Lots identified on the Concept Plan by the asterisk (“\*”) symbol.
- 2.6 Subject Home. A Single-family Dwelling that is the subject of an application for an improvement location permit.
- 2.7 Same Elevation: The same architectural Front Building Façade.
- 2.8 Tree Preservation Areas: The areas identified on the Concept Plan as Tree Preservation Areas.

**Section 3.** **Concept Plan.** The Concept Plan, attached hereto as **Exhibit B**, is hereby incorporated in accordance with Article 10.9(F)(2) Planned Unit Development Districts; PUD District Ordinance Requirements; Concept Plan. The Real Estate shall be developed in substantial compliance with the Concept Plan.

**Section 4.** **Underlying Zoning District.** The Underlying Zoning District of this District shall be the SF-4 District (the “Underlying Zoning District”).

**Section 5.** **Permitted Uses.** The permitted uses shall be as set forth below.

- 5.1 All uses permitted in the Underlying Zoning District, as set forth in Chapter 4 and Chapter 13 of the UDO, shall be permitted.
- 5.2 Maximum Dwellings. The total number of Dwellings permitted in the District shall not exceed eighty-three (83).

**Section 6. General Regulations.** The standards of Chapter 4: Zoning Districts, as applicable to the Underlying Zoning District, shall apply to the development of the District, except as otherwise modified below.

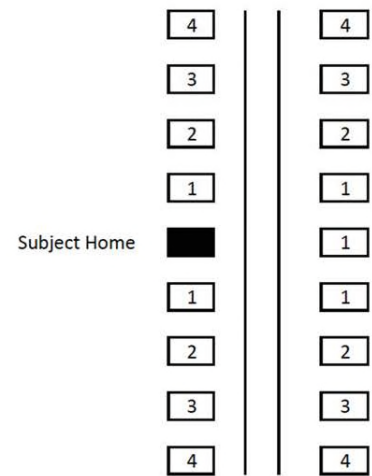
<b>Standard</b>	
Minimum Lot Area	9,100 SF
Minimum Lot Frontage	40'
Minimum Building Setback Lines	
Front Yard	20'
Side Yard	5'
Rear Yard	20'
Minimum Lot Width	65'
Maximum Building Height	2 1/2 stories
Minimum Living Area (Total)	
One Story Dwellings	1,750 SF
Two Story Dwellings	2,200 SF

**Section 7. Development Standards.** The standards of Chapter 6: Development Standards shall apply to the development of the district, except as otherwise modified by this ordinance.

7.1 Article 6.3 Architectural Standards: Shall apply, except as modified below:

A. Architectural Features. Article 6.3(C)(1)(b)(iii)(b)(3) shall be revised as follows: Two (2) or more siding materials or material patters (e.g., board and batten, shake, lap siding) on the Building Façade, to include a minimum of Masonry Material at a height of at least thirty-six (36) inches tall around the entire Dwelling. Each siding material or material pattern shall be a minimum of ten percent (10%) of the applicable rear or side Building Façade (exclusive of openings and trim).

B. Streetscape Diversity: Article 6.3(C)(2) shall not apply; rather, the following shall apply. The Character Exhibit, attached hereto as **Exhibit C**, is hereby incorporated as a compilation of images designed to capture the intended architecture of structures to be constructed in the District. It is not the intent to limit the architecture shown in the Character Exhibit, but to encourage a diversity in architecture of Dwellings within the District. As such, the following shall apply:



- 1** Homes shall not be of the Same Elevation of the same plan as the Subject Home and shall be a Different Color Package.
- 2** Homes shall not be of the Same Elevation of the same plan as the Subject Home and shall be a Different Color Package, but may have the same Masonry Material.
- 3** Homes may be of the same plan and may be the Same Elevation as the Subject Home, but shall be a Different Color Package.
- 4** Homes may be identical to the Subject Home.

C. Additional Architectural Standards: The following shall apply to all Dwellings:

- i. Minimum Overhang: The roof overhang or eaves shall be a minimum of eight (8) inches, as measured prior to the installation of Masonry Materials.

- ii. Garage Composition and Orientation: All Dwellings shall have a minimum two (2) car attached garage.
- iii. Building Materials: In addition to Article 6.3(C)(3) Building Materials, vinyl and aluminum siding shall be prohibited.
- iv. Front Building Façade Requirements: Each Dwelling shall utilize a minimum of three (3) of the following architectural elements on the Front Building Façade. All of the below architectural elements shall count as one (1) unless otherwise indicated:
  - a) Side load or angled garage.
  - b) Covered front porch (minimum six (6) feet in width and four (4) feet in depth).
  - c) Roofline direction change or roofline height change greater than or equal to sixteen (16) inches.
  - d) Wood, Fiber Cement Siding, or equivalent trim at corners, frieze boards, window and door wraps, and as transitional material between two different exterior materials.
  - e) Decorative shutters or other enhanced architectural window treatment on all windows (e.g., minimum five and one-half inch (5-1/2") wide trim), where feasible (a minimum of three (3) windows with shutters are required to meet this provision).
  - f) A minimum of two (2) two-foot (2') deep offsets which is a minimum height equivalent to one-story, excluding relief for doors, windows, and garages (homes incorporating two (2) or more architectural breaks shall be deemed to have met two (2) of the element requirements).
  - g) A minimum roof pitch of 8/12 for the primary roof and 10/12 for secondary roof. The primary roof shall be the portion of the structure's roof structure that most contributes to the mass of the building due to its predominance in height, width, length, bulk, or volume of area covered.
  - h) Masonry Materials on a minimum of twenty-five percent (25%) of the total Front Building Façade, exclusive of windows and doors.
  - i) Separate overhead garage door per garage bay.
  - j) Roof design featuring a hip roof; dormers (a minimum of two (2) dormers); a reverse gable; a shed roof accent; or, two (2) or more roof planes.
  - k) Bay window (a minimum of six (6) feet wide).
  - l) Transom or palladium window.
  - m) Garage doors containing decorative windows.

- n) Architecturally-enhanced trim a minimum of five and one-half inches (5-1/2") wide. Alternative decorative trim or masonry detailing (i.e. arches, cornices, crossheads, ornate moldings, pediments) may be considered by the Director if the trim otherwise results in a comparable visual contrast that enhances the architectural interest of the Front Building Façade.
  - o) Exterior (projects from the Building Façade) fireplace chase that extends above the roof line.
- v. Side Building Façade Requirements: Each Dwelling shall utilize a minimum of one (1) of the following architectural elements on each Side Building Façade. Side Building Facades that face Internal Streets shall utilize a minimum of two (2) of the following architectural elements on the Side Building Façade.
- a) Side load garage.
  - b) Hip roof.
  - c) Roofline direction change or roofline height change greater than or equal to sixteen (16) inches or two (2) or more roof planes.
  - d) A minimum of two (2) two-foot (2') deep offsets which is a minimum height equivalent to one-story, excluding relief for doors, windows, and garages.
  - e) Masonry Materials on a minimum of thirty-six (36) inches in height the entire length of the Side Building Façade, or a minimum four (4) foot deep return from the corner of the Front Building Façade that is a minimum height of the first floor.
  - f) A minimum of three (3) or more windows with an aggregate minimum of forty-five (45) square feet in size, on the Side Building Façade.
  - g) Bay window (a minimum of six (6) feet wide).
  - h) Architecturally-enhanced trim a minimum of five and one-half inches (5-1/2") wide. Alternative decorative trim or masonry detailing (i.e. arches, cornices, crossheads, ornate moldings, pediments) may be considered by the Director if the trim otherwise results in a comparable visual contrast that enhances the architectural interest of the Front Building Façade.
  - i) Exterior (projects from the Building Façade) fireplace chase that extends above the roof line.
  - j) Architectural treatment (e.g., brackets, louvers, change in material pattern, etc.) on gable ends.
  - k) Sunroom or screened porch (a minimum of one hundred and forty-four (144) square feet in size).

- vi. Additional Requirements for Perimeter Lots: Article 6.3(C)(1) shall apply except that Article 6.3(C)(1)(b)(i)(a) is hereby modified to require six (6) total points from the list of qualifying characteristics and/or architectural features. The following architectural requirements shall apply to the Perimeter Lots in addition to the otherwise applicable architectural requirements.
  - a) Masonry Materials on a minimum of thirty-six (36) inches in height on all sides of the Dwelling.
  - b) At least one of the following: (i) a bump out which is a minimum height equivalent to one-story, a minimum depth of two (2) feet, and a minimum width of eight (8) feet (see Bump Out Exhibit attached hereto as **Exhibit D**); (ii) a covered outdoor living area projecting from the rear façade of the Dwelling at least one hundred (100) square feet in size (see Covered Outdoor Living Area Exhibit attached hereto as **Exhibit E**); or (iii) an integrated outdoor living area of at least one hundred (100) square feet in size (an outdoor patio under the roof structure of the Dwelling and recessed into the Dwelling's building footprint, shown in the Integrated Outdoor Living Area Exhibit attached hereto as **Exhibit F**).

7.2. Article 6.8 Landscaping Standards: Shall apply, except as otherwise modified or enhanced below.

- A. Lot Landscaping: Article 6.8(K) Minimum Lot Landscaping Requirements shall apply except as modified and enhanced below;
  - i. All lots shall be subject to the Single-family Residential (per Lot under 8,000 sq. ft.) Plant Materials provisions.
  - ii. At a minimum, the Lot's Established Front Yard shall be sodded and the remainder of the Lot shall be seeded.
  - iii. At least eight (8) additional shrubs shall be installed on each Lot.
- B. Perimeter Lots: The following landscaping requirement shall apply to the Perimeter Lots in addition to the otherwise applicable landscaping requirements. One (1) additional shade tree shall be installed in the rear yard of each Perimeter Lot.
- C. Common Areas:
  - i. Tree Preservation Areas: Desirable tree specimens within the Tree Preservation Areas shall be located in common areas and



preserved in accordance with Article 6.8, Landscaping Standards.

- ii. External Street Frontage Landscaping Requirements: The portions of the external street frontage along Horton Road that are not included within a Tree Preservation Area shall be planted in substantial compliance with the External Street Frontage Landscaping Plan, attached hereto as **Exhibit G**. To the extent that the External Street Frontage Landscaping Plan conflicts with Article 6.8 of the UDO, the External Street Frontage Landscaping Plan shall supersede.
- iii. Other Common Areas: Landscaping to be installed in other Common Areas within the Real Estate may, but shall not be required, to exceed the planting requirements of Article 6.8(K) of the UDO. The landscaping shown in the Other Common areas on the Concept Plan are shown for illustrative purposes and may be adjusted in quantity and location when detailed landscaping plans are prepared during the Overall Development Plan process.

**Section 8. Infrastructure Standards.** The District's infrastructure shall comply with the Unified Development Ordinance and the City's Construction Standards (see Chapter 7: Subdivision Regulations), unless otherwise approved by the Plan Commission or Department of Public Works in consideration to the preservation of the natural topography and environment and in consideration to the unique design intent of the District.

**Section 9. Design Standards.** The standards of Article 8: Design Standards shall apply to the development of the District, except as modified below.

- A. Minimum Open Space: Shall be enhanced to require a minimum of twenty-five percent (25%) of the Real Estate, as generally shown on the Concept Plan.
- B. Amenities: A central open space including trails shall be provided for passive recreation opportunities, as generally depicted on the Concept Plan. The final locations are subject to existing easements and final engineering. If trails are prevented from being installed as generally shown, then alternative trail locations may be approved by the Director that still provide access and connectivity to the District's Open Space. The Amenities shall be installed in accordance with Article 8.6(F)(3).

**Section 10. Duration.** Failure to obtain the first Improvement Location Permit for a new Dwelling in the District by January 1, 2026 (unless otherwise extended by the Director) shall automatically void this Ordinance and cause the

zoning classification of the Real Estate to revert to the Agriculture / Single-family Rural District (AG-SF1).

**ALL OF WHICH IS ORDAINED/RESOLVED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2020.**

**WESTFIELD CITY COUNCIL**

**Voting For**

**Voting Against**

**Abstain**

\_\_\_\_\_  
James Edwards

\_\_\_\_\_  
James Edwards

\_\_\_\_\_  
James Edwards

\_\_\_\_\_  
Scott Frei

\_\_\_\_\_  
Scott Frei

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Scott Frei

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Jake Gilbert

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Jake Gilbert

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Jake Gilbert

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Mike Johns

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Mike Johns

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Mike Johns

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Troy Patton

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Troy Patton

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Troy Patton

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Cindy L. Spoljaric

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Cindy L. Spoljaric

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Cindy L. Spoljaric

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Scott Willis

\_\_\_\_\_  
Scott Willis

\_\_\_\_\_  
Scott Willis

ATTEST:

\_\_\_\_\_  
Cindy Gossard, Clerk Treasurer

I hereby certify that ORDINANCE 20-38 was delivered to the Mayor of Westfield on the \_\_\_\_\_ day of \_\_\_\_\_, 2020, at \_\_\_\_\_ m.

\_\_\_\_\_  
Cindy Gossard, Clerk Treasurer

I hereby APPROVE **ORDINANCE 20-38**  
this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

I hereby VETO **ORDINANCE 20-38**  
this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
J. Andrew Cook, Mayor

\_\_\_\_\_  
J. Andrew Cook, Mayor

This document prepared by: Matthew S. Skelton, Esq., Church Church Hittle + Antrim, Two North Ninth Street, Noblesville, IN 46060

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law: Matthew S. Skelton.

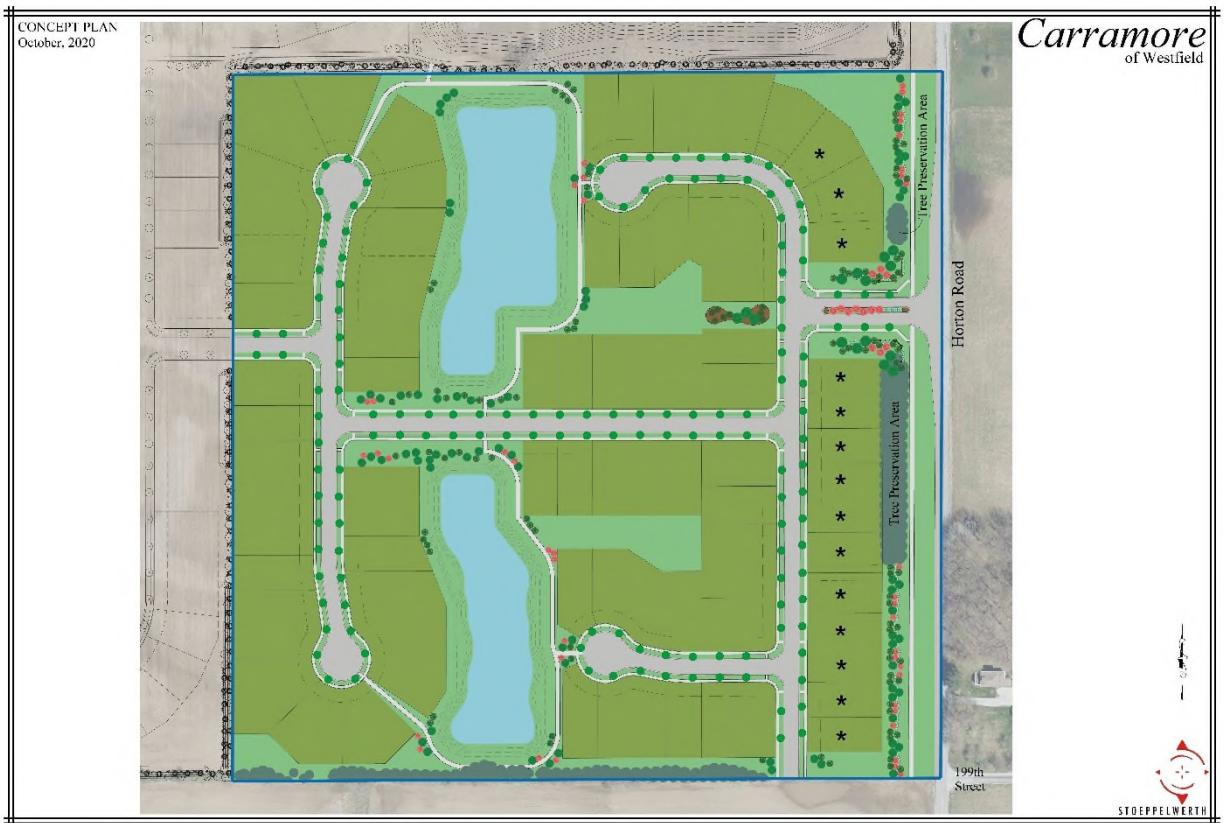
## **SCHEDULE OF EXHIBITS**

Exhibit A	Real Estate (Legal Description)
Exhibit B	Concept Plan
Exhibit C	Character Exhibits
Exhibit D	Bump Out Exhibit
Exhibit E	Covered Outdoor Living Area Exhibit
Exhibit F	Integrated Outdoor Living Area Exhibit
Exhibit G	External Street Frontage Landscaping Plan

**EXHIBIT A**  
**REAL ESTATE**

The Northwest Quarter of the Southwest Quarter in Section 23, Township 19 North, Range 3 East in Hamilton County, Indiana, containing 40 acres, more or less.

## **EXHIBIT B** **CONCEPT PLAN**





**EXHIBIT C**  
**CHARACTER EXHIBITS**  
(page 1 of 4)





**EXHIBIT C**  
**CHARACTER EXHIBITS**  
(page 2 of 4)





**EXHIBIT C**  
**CHARACTER EXHIBITS**  
(page 3 of 4)



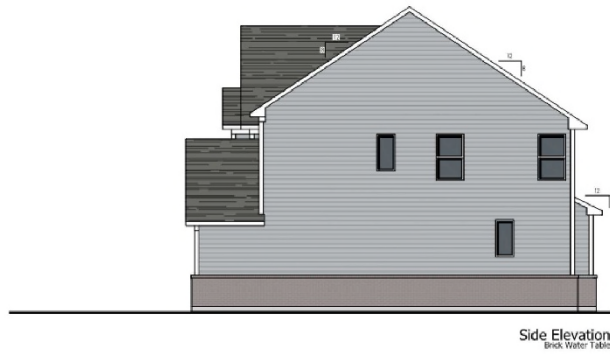


**EXHIBIT C**  
**CHARACTER EXHIBITS**  
(page 4 of 4)



**EXHIBIT D**  
**BUMP OUT EXHIBIT**

(page 1 of 3)



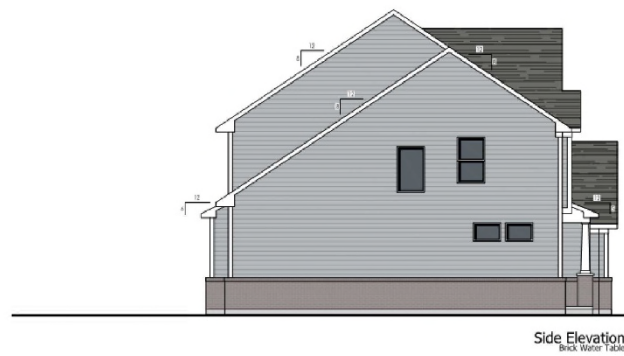
Side Elevation  
Brick Water Table



the Belleville

**EXHIBIT D**  
**BUMP OUT EXHIBIT**

(page 2 of 3)



the Belleville

**EXHIBIT D**  
**BUMP OUT EXHIBIT**

(page 3 of 3)



Rear Elevation  
Brick Water Table & Sunroom



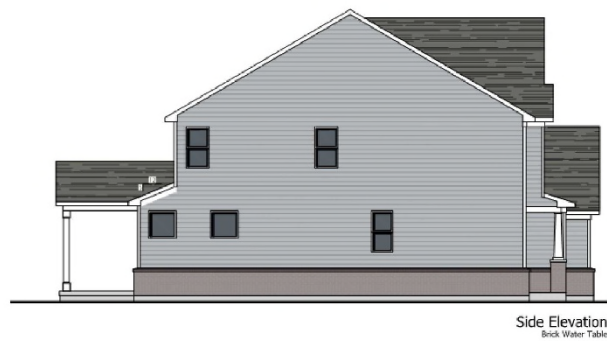
the Belleville

**EXHIBIT E**  
**COVERED OUTDOOR LIVING AREA EXHIBIT**  
(page 1 of 3)



the Vanderburgh

**EXHIBIT E**  
**COVERED OUTDOOR LIVING AREA EXHIBIT**  
(page 2 of 3)



the Vanderburgh



**EXHIBIT E**  
**COVERED OUTDDOR LIVING AREA EXHIBIT**  
(page 3 of 3)



Rear Elevation  
Brick Water Table



the Vanderburgh

**EXHIBIT F**  
**INTEGRATED OUTDOOR LIVING AREA EXHIBIT**  
(page 1 of 2)



Side Elevation  
Brick Water Table



the Clearwater

**EXHIBIT F**  
**INTEGRATED OUTDOOR LIVING AREA EXHIBIT**  
(page 2 of 2)

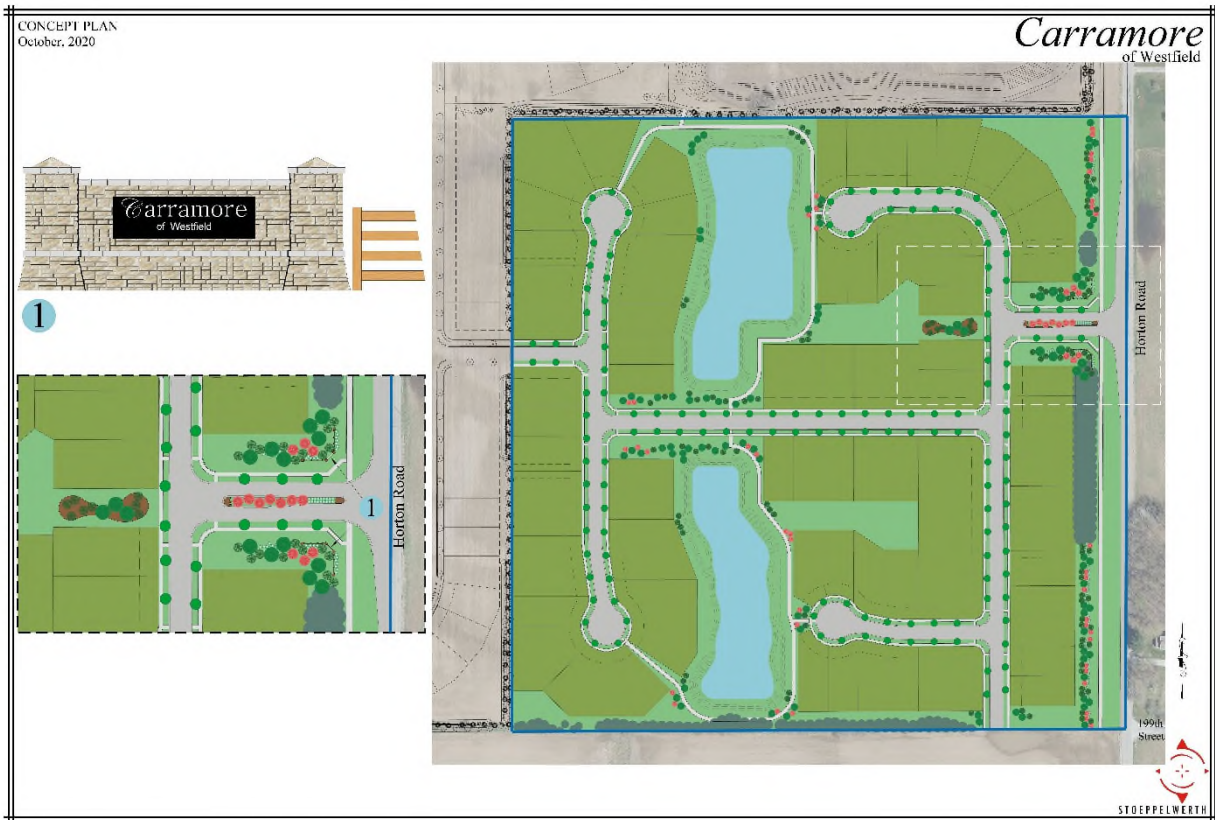


Rear Elevation  
Covered Porch



the Clearwater

**EXHIBIT G**  
**EXTERNAL STREET FRONTAGE LANDSCAPING PLAN**  
(page 1 of 2)



# **EXHIBIT G** **EXTERNAL STREET FRONTAGE LANDSCAPING PLAN** (page 2 of 2)

